

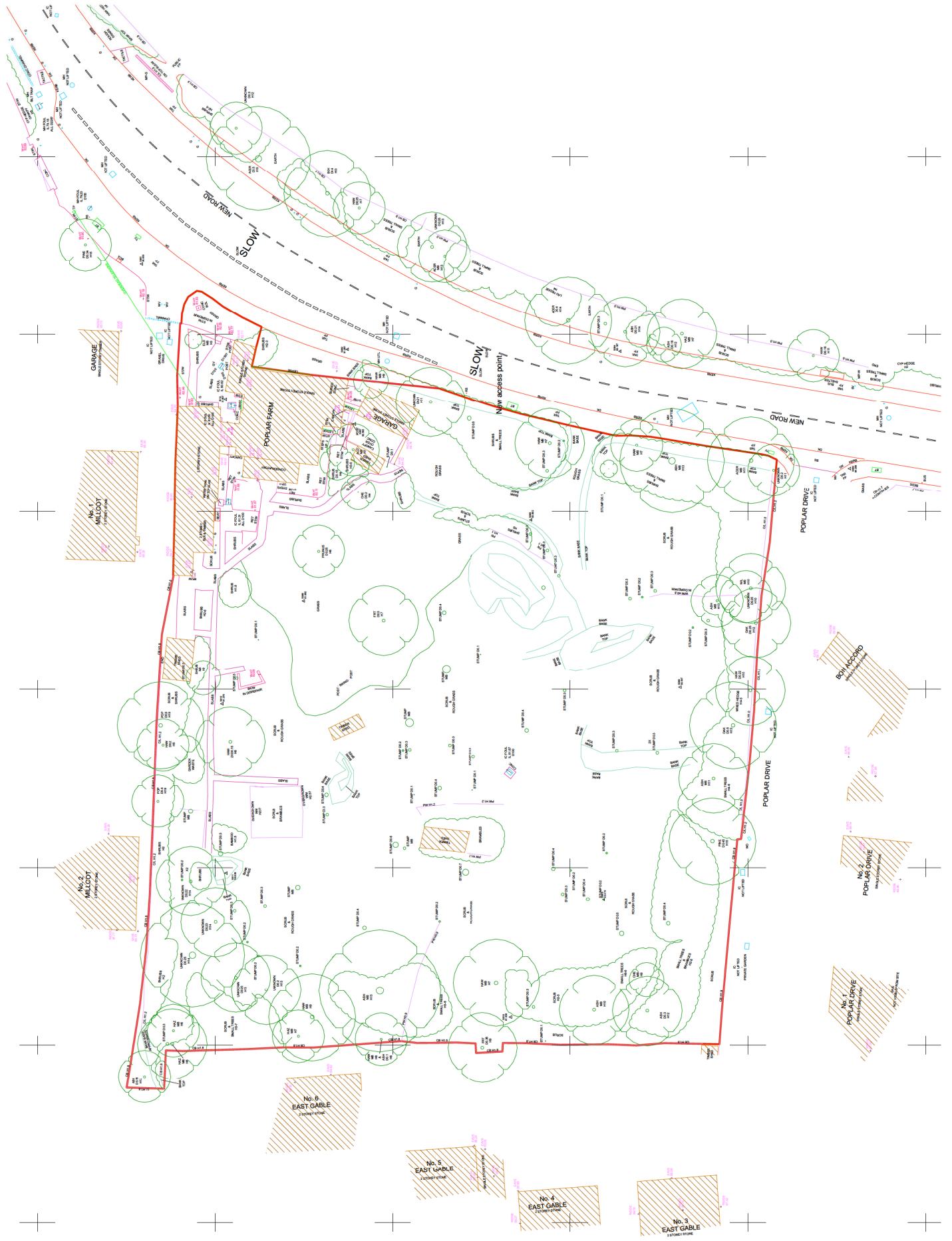
Location Plan

PL 06.08.2023: Rev 1 (1st Amendment)\_JH  
PL 16.07.2023: Planning Issues\_RN  
Revised

**PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE**  
Location Plan - Poplar Farm

DATE	REVISION	BY
20/09/23	PL	PLANNING
16/07/23	PL	PLANNING
16/07/23	PL	PLANNING





PL 16.07.2024, Planning Issue, PN  
Revised

**PROPOSED DEVELOPMENT, NEW ROAD, WOODINVILLE**  
Existing Site Plan

NO.	DATE	DESCRIPTION
1	16.07.2024	PLANNING
2	16.07.2024	PN



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PL 26.03.2021 - Revised Planning Issue, Parking revised, more parking, plots 6, 7  
PL 26.03.2021 - Revised Planning Issue, Parking revised, more parking, plots 6, 7  
PL 26.03.2021 - Revised Planning Issue, RN  
PL 26.03.2021 - Revised Planning Issue, RN  
PL 16.07.2021 - Planning Issue, RN  
PL 16.07.2021 - Planning Issue, RN  
PL 16.07.2021 - Planning Issue, RN

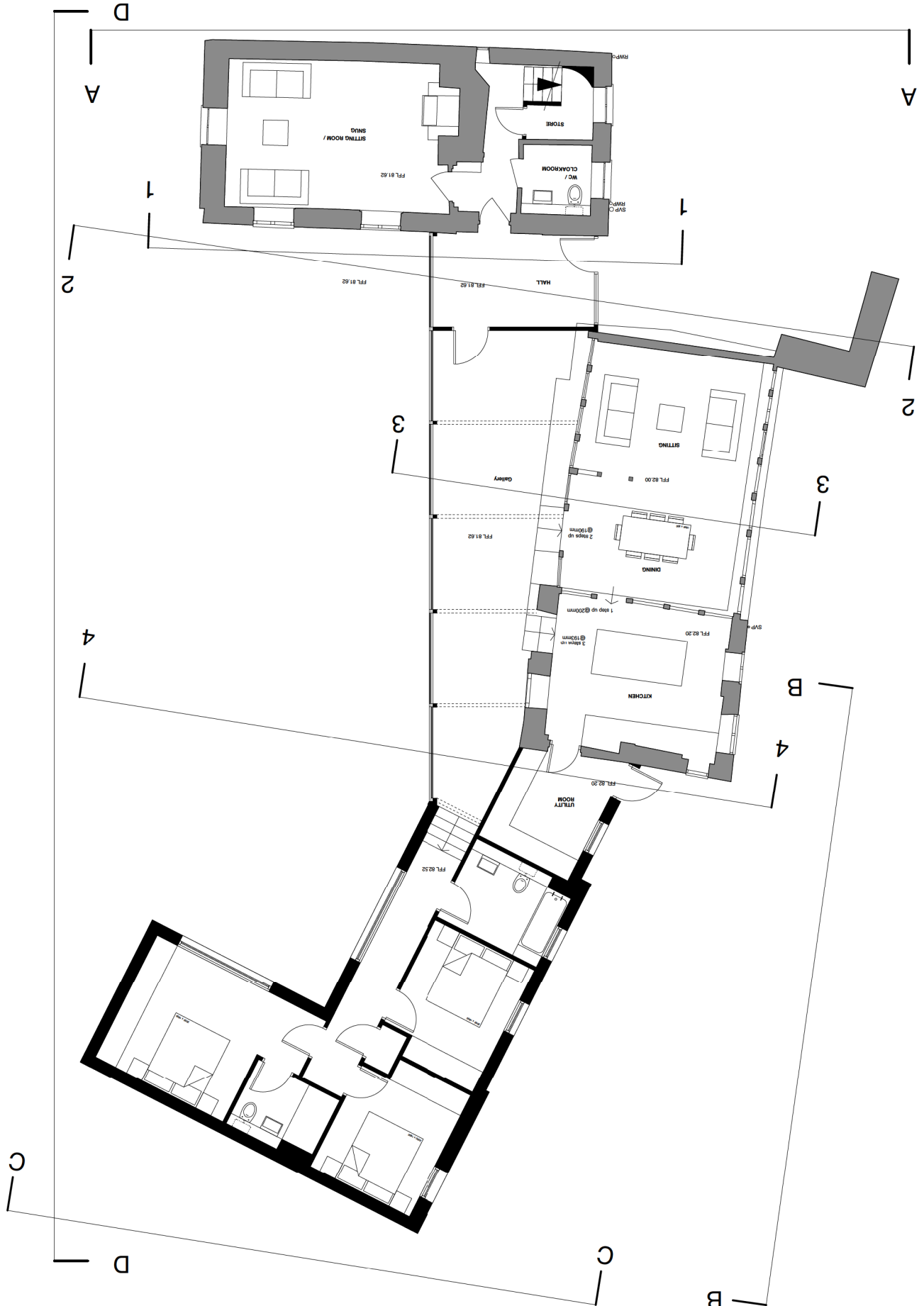
**PROPOSED DEVELOPMENT, NEW ROAD, WOODINVILLE**  
Proposed Site Plan

DATE	BY	REVISION
24.03.2021	RM	PLANNING
16.07.2021	RM	PLANNING
16.07.2021	RM	PLANNING

1. Site: New Road, Woodinville WA 98092  
2. Project: Proposed Development  
3. Drawing: Proposed Site Plan  
4. Scale: 1:500  
5. Date: 16.07.2021







PP\_20\_10\_2021\_Rev002\_Proposed Planning Issues\_R1  
PP\_18\_07\_2021\_Proposed Planning Issues\_RN  
Revision:

PROPOSED DEVELOPMENT, NEW ROAD, WOODMENCOTE  
Poplar Farm - Proposed Ground Floor

NO.	DATE	BY	CHKD
1	18.07.2021	BN	BN
2	18.07.2021	BN	BN
3	18.07.2021	BN	BN
4	18.07.2021	BN	BN

1 Poplar Farm, Woodmencote, SO10 1UD  
01753 720180  
www.bpnarchitects.co.uk  
info@bpnarchitects.co.uk

BPN ARCHITECTS





PL 16/07/2021, Plymouth, Devon, UK  
Revised

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE  
Poplar Farm - Existing Ground floor - Proposed Demolition

DATE: 16/07/2021  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1:100

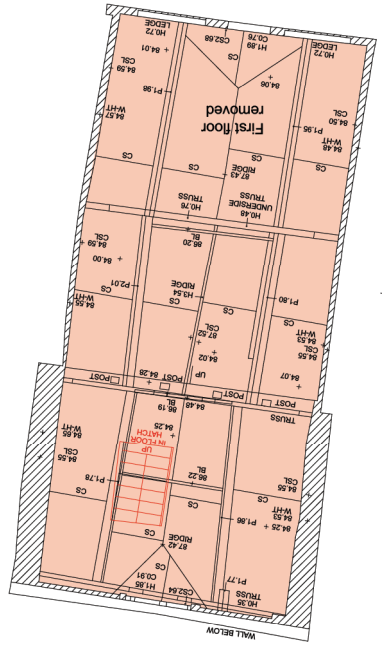
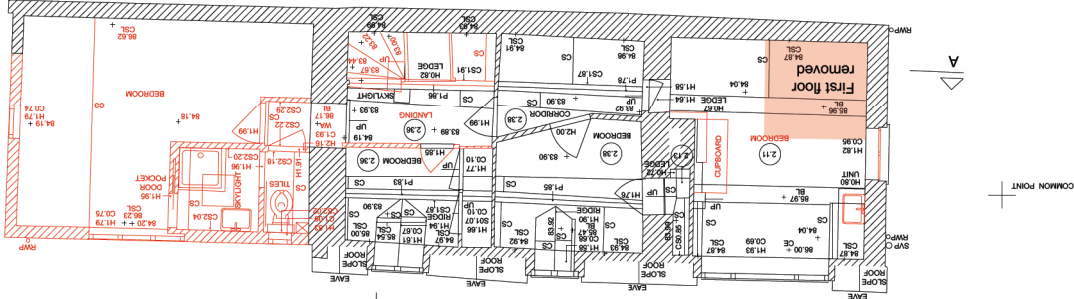
BPN ARCHITECTS



10m



1. Plot: New Road, Woodmarcote, Devon, UK  
2. Plot: 100/100/100/100  
3. Plot: 100/100/100/100  
4. Plot: 100/100/100/100



BPN ARCHITECTS

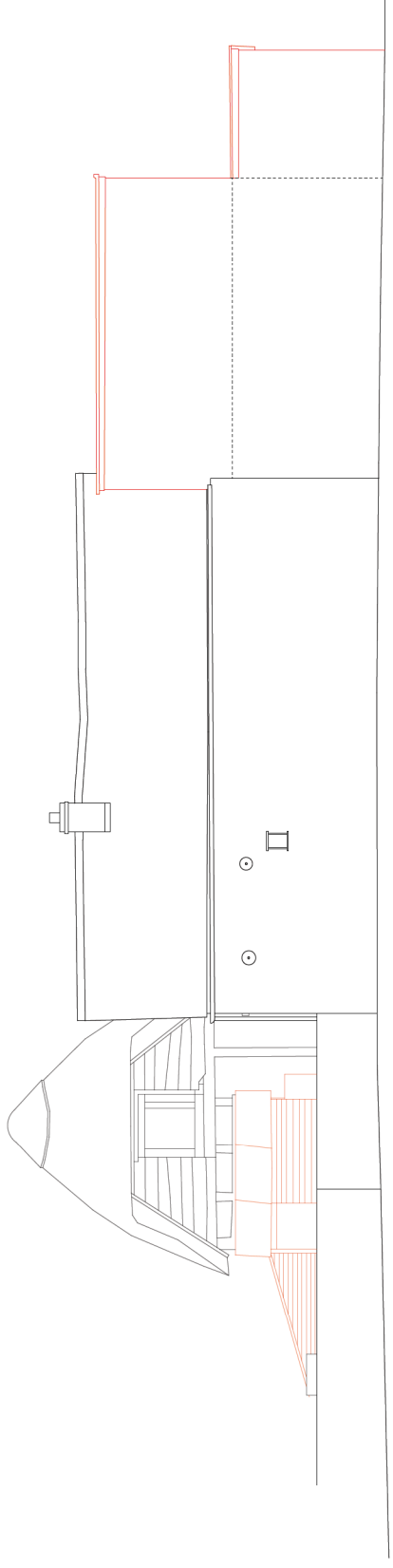
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Project: 2400.023  
 Date: 16.07.2024  
 Location: Poplar Farm, New Road, Woodmancote

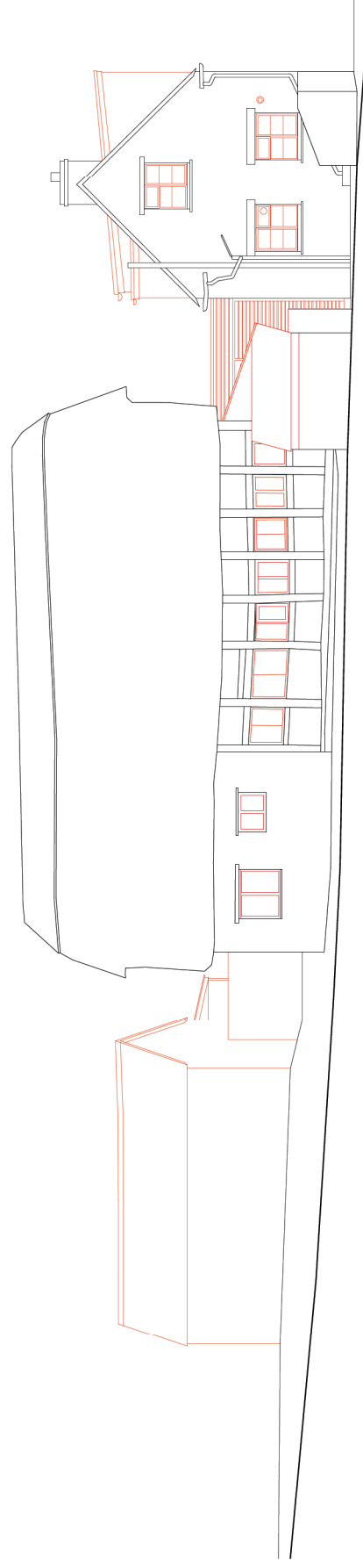
PROPOSED DEVELOPMENT, NEW ROAD, WOODMANCOTE  
 Poplar Farm - Existing First Floor - Proposed Demolition

Client:	BPN
Architect:	BPN ARCHITECTS
Date:	16.07.2024
Scale:	1:100

10m  
 0 1 2 3 4 5 6 7 8 9 10



North Elevation - Demolition

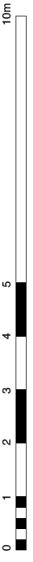


East Elevation (New Road) - Demolition

PL1, 16.07.2021, Planning Issues\_BN  
Revised

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE  
Poplar Farm - Existing Elevations 1 - Proposed Demolition

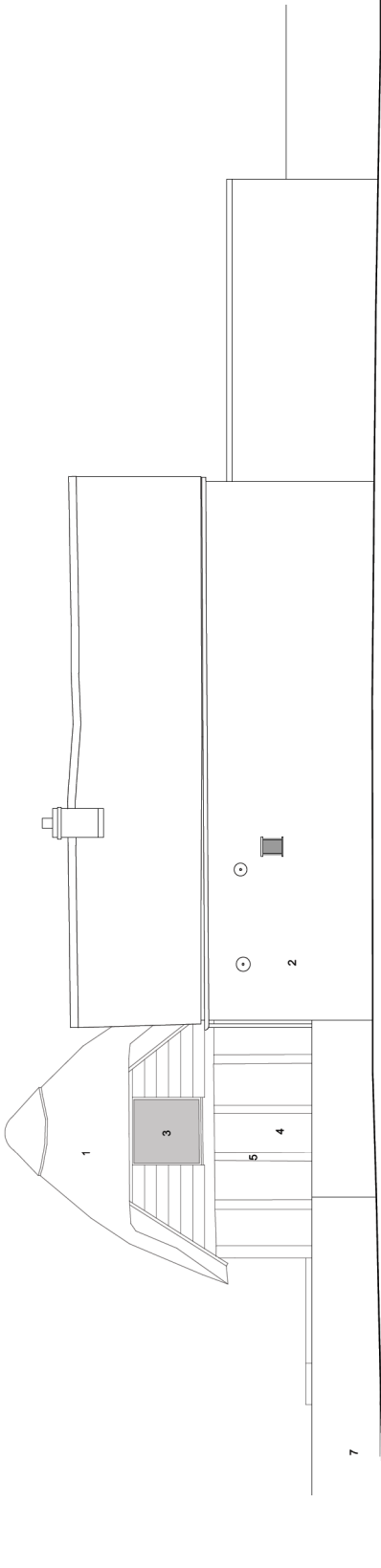
DATE	REVISION	BY	CHKD
2019.03.11	P1	J.C.S.	J.M.
2020.07.15	PL1	J.C.S.	J.M.
16.07.2021	PL1	J.C.S.	J.M.



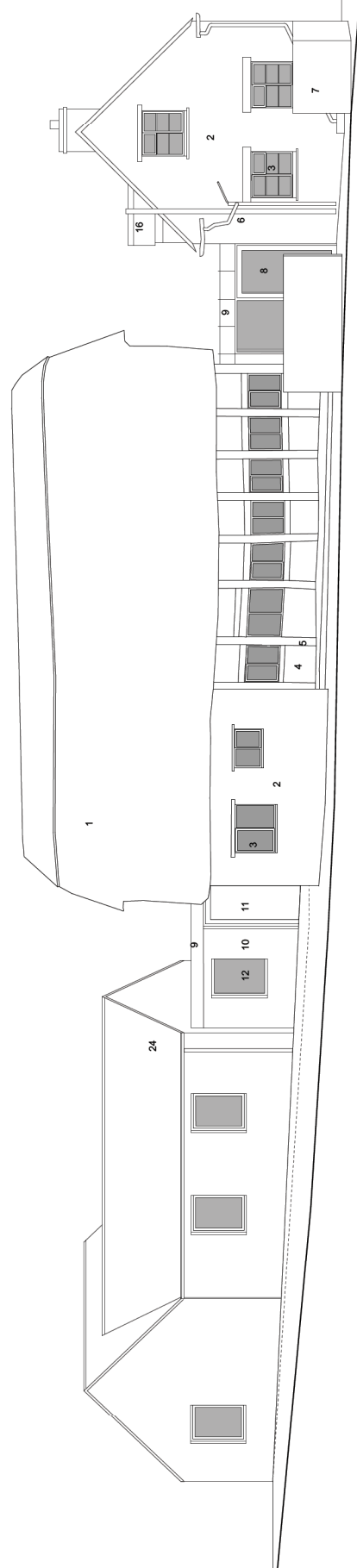


**KEY**

1. Existing hatch roof retained and made good locally as required.
2. Existing stone walling retained and repointed with lime mortar as required.
3. Existing windows carefully removed and replaced with new hardwood windows. Existing stone walling to be retained and incorporating slimline double glazed units (applies to all existing windows).
4. Brick splayrels redecorated.
5. Timber frame redecorated.
6. Existing stone walling to be retained and replaced with new stone, to match the existing stone, beyond repair - bronze colour.
7. Existing delapidated stone wall rebuilt.
8. Existing stone walling to be retained and screen in bronze colour.
9. Existing stone walling to be retained and screen in bronze colour.
10. New stone wall built using reclaimed stone from demolished garage.
11. Painted timber door.
12. Existing stone walling to be retained and replaced with new stone, to match the existing stone, beyond repair - bronze colour.
13. Stone coping.
14. Dry stone wall using local stone.
15. Existing stone walling to be retained and replaced with new stone, to match the existing stone, beyond repair - bronze colour.
16. Existing stone walling to be retained and replaced with new stone, to match the existing stone, beyond repair - bronze colour.
17. Existing rear wall partially retained and new timber pergola.
18. Painted timber gate.
19. Existing stone walling to be retained and replaced with new stone, to match the existing stone, beyond repair - bronze colour.
20. Zinc fascia to timber pergola.
21. Local stone facade.
22. Existing stone walling to be retained and replaced with new stone, to match the existing stone, beyond repair - bronze colour.
23. Existing stone walling to be retained and replaced with new stone, to match the existing stone, beyond repair - bronze colour.
24. Tiled roof in built to match existing Poplar Farm cottage.
25. Traditional garage door.
26. Through coloured render.
27. Existing stone walling to be retained and replaced with new stone, to match the existing stone, beyond repair - bronze colour.
28. PPC cheeks and flashings to dormer windows.
29. PPC aluminium glazed door.
30. PPC aluminium copings to matching colour to window frames.



Proposed North Elevation

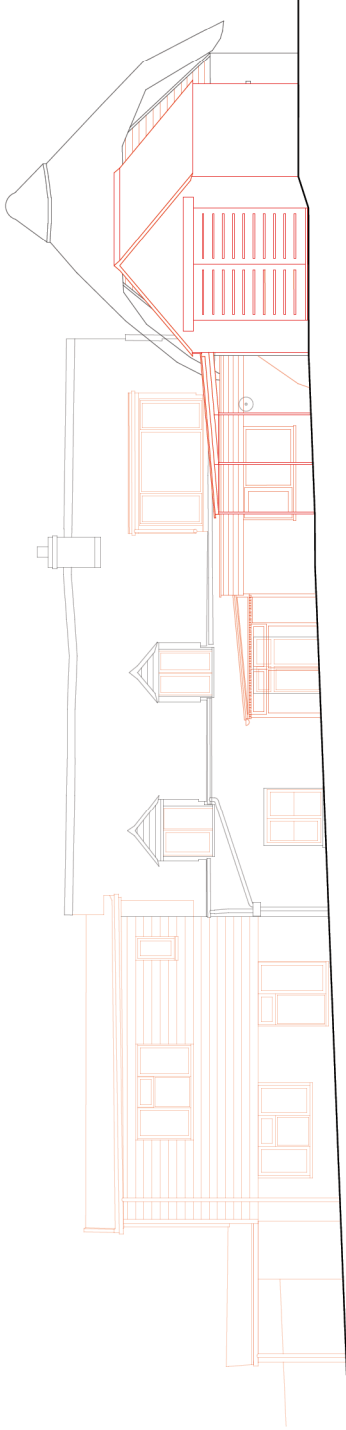


Proposed East Elevation (New Road)

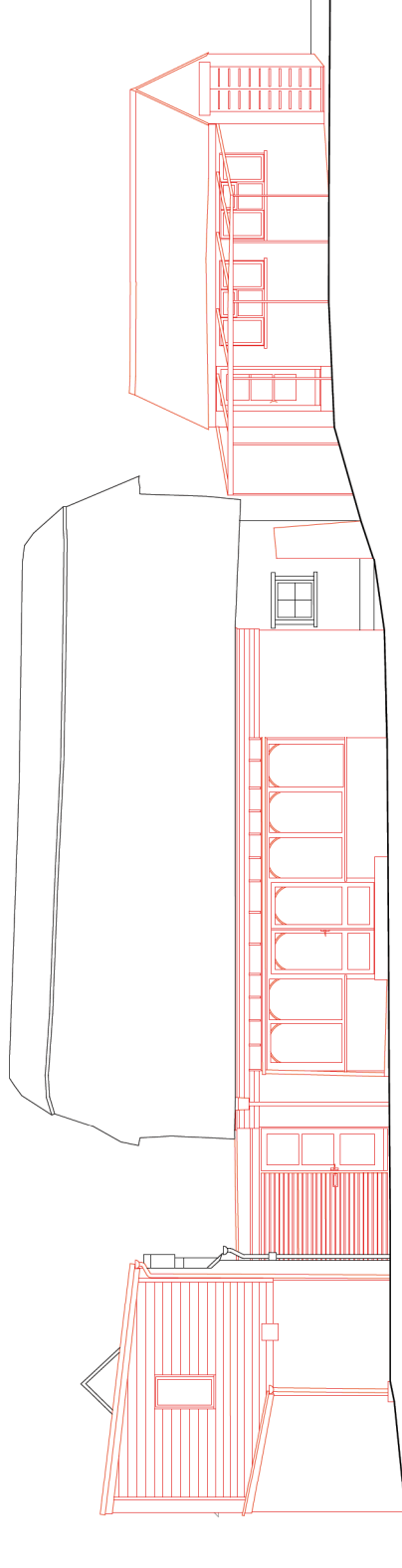
PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE  
Poplar Farm - Proposed Elevations 1

DATE	DESCRIPTION
2019.11.05	PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
2019.11.05	PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
2019.11.05	PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
2019.11.05	PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE

1. New Road Elevation (New Road)  
2. Existing stone walling to be retained and replaced with new stone, to match the existing stone, beyond repair - bronze colour.



South Elevation - Demolition



West Elevation - Demolition

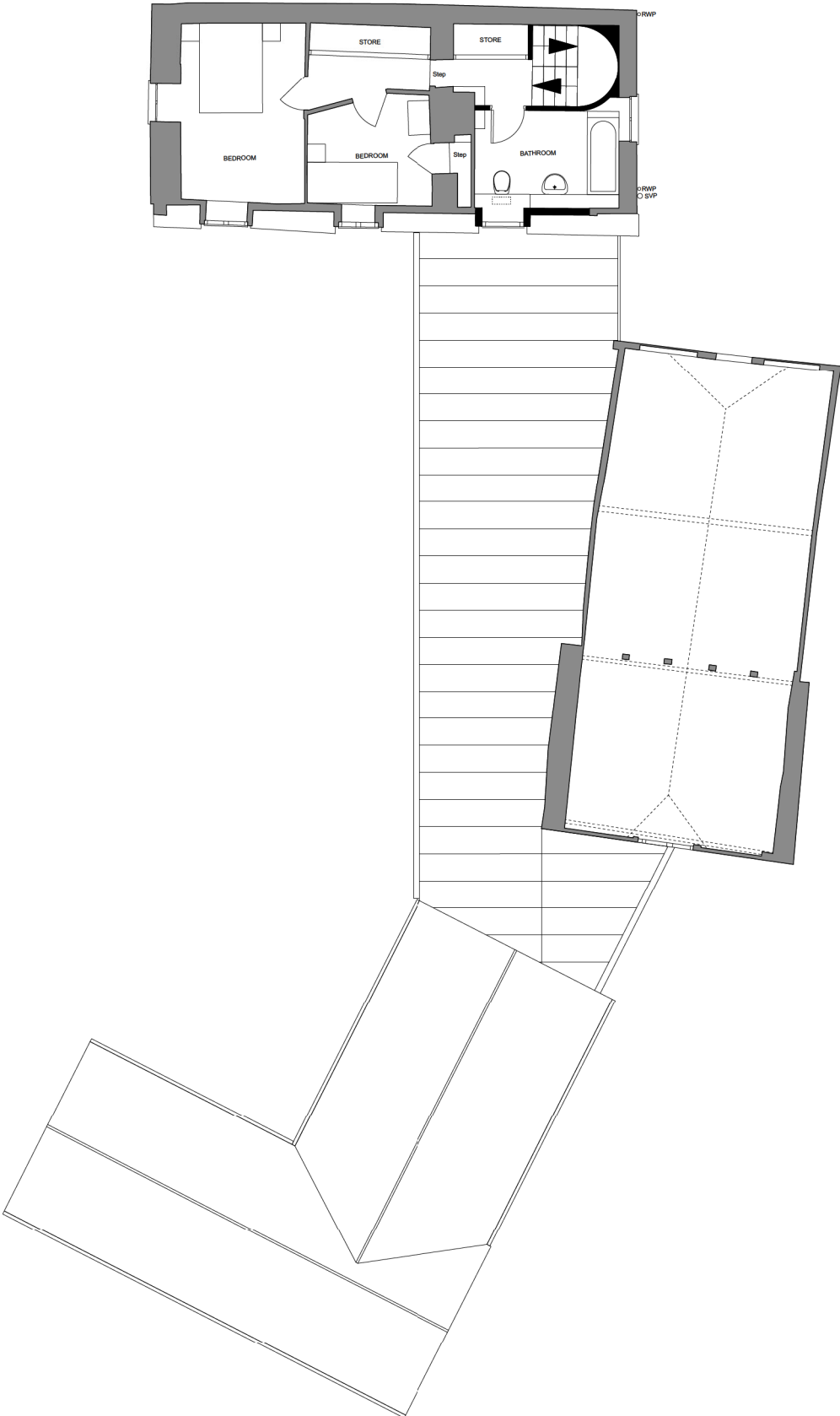
PL1\_16.07.2021\_Planwork Issues\_BN  
Rev:00/00

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE  
Poplar Farm - Existing Elevations 2 - Proposed Demolition

DATE	REVISION	BY	CHKD
20/07/21	P1	PL	PL
16/07/2021			







PL 20 10 2021, Revised Planning Issue, BR  
PL 10 07 2021, Planning Issue, BN  
Revised

PROPOSED DEVELOPMENT, NEW ROAD, WOODMENCOTE  
Poplar Farm - Proposed First Floor

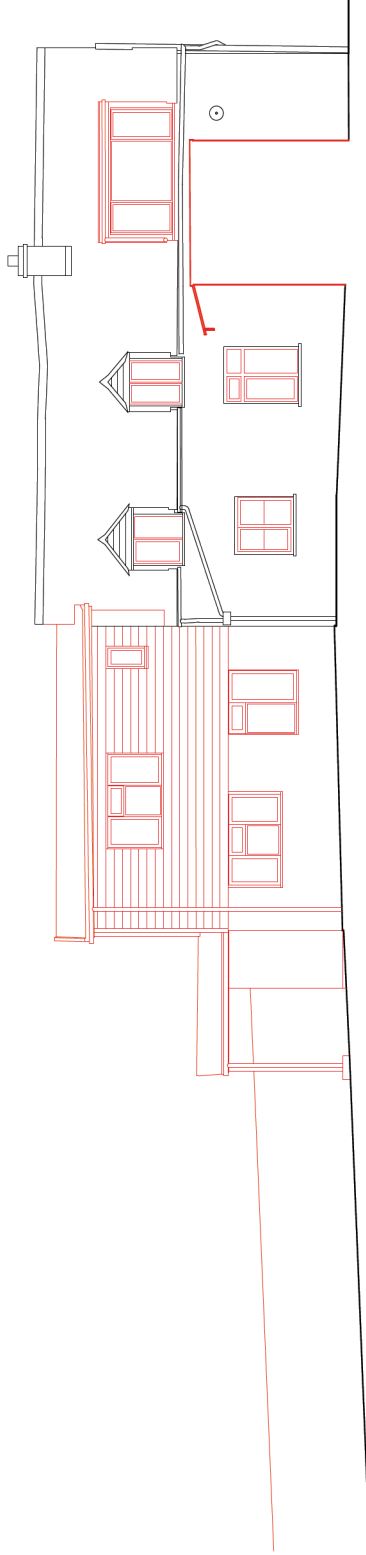
DATE	REVISION	BY
20/10/21	PL	PLANNING
10/07/21	PL	PLANNING
10/07/21	PL	PLANNING



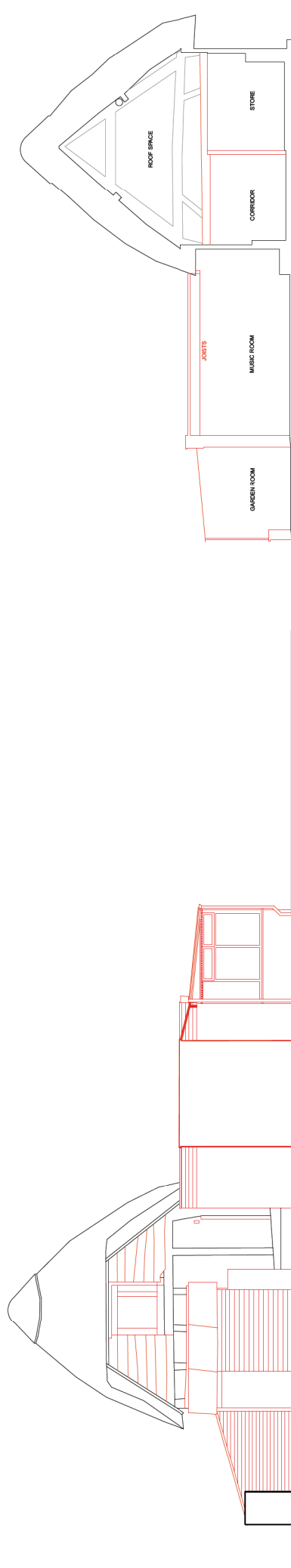
BPN ARCHITECTS

1, New Road, Birmingham B31 1UD  
0121 723 1818  
www.bpnarchitects.co.uk



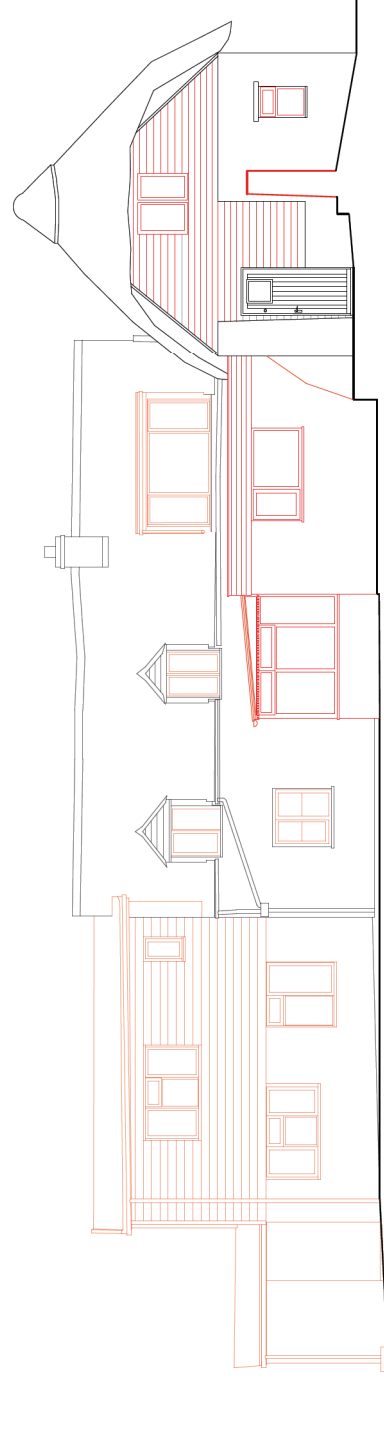


Demolition - Section 1-1



Demolition - Section 2-2

Demolition - Section 3-3



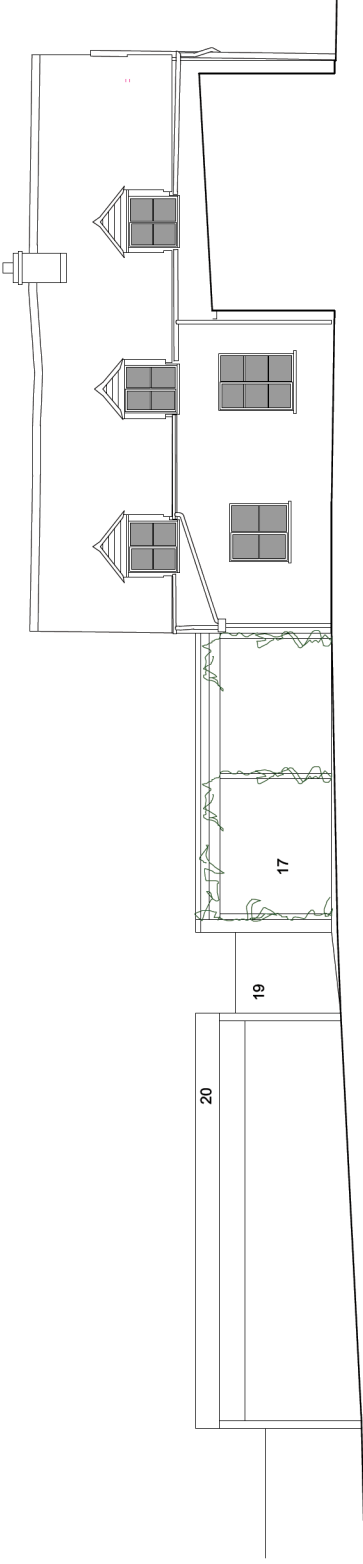
Demolition - Section 4-4

PI\_18.07.2024\_Planney House\_BN  
Rev:000

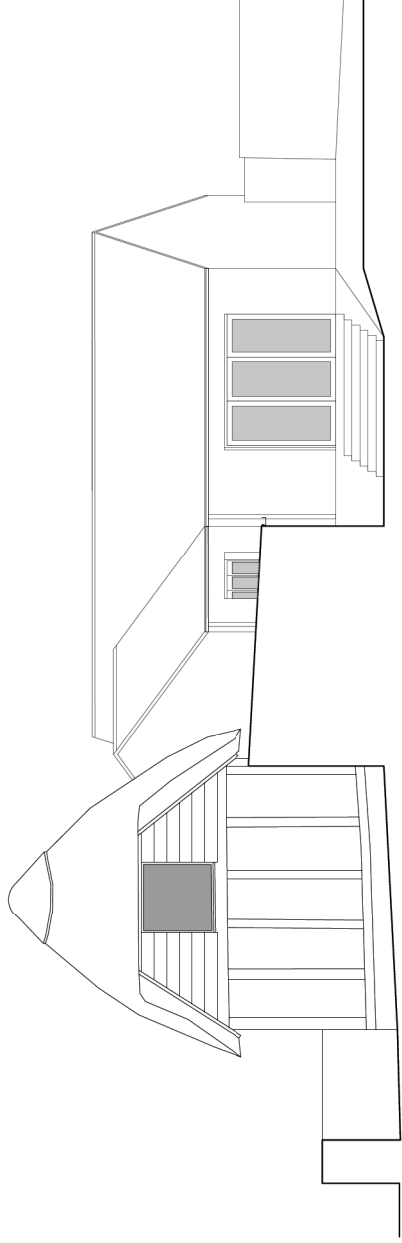
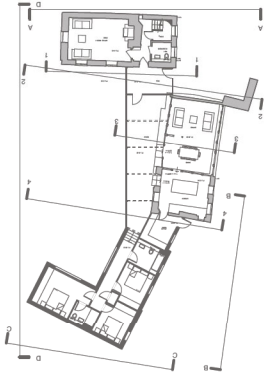
PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE  
Poplar Farm - Existing Sections - Proposed Demolition

DATE	BY	REVISION
18.07.2024	PI	PI_18.07.2024
18.07.2024	PI	PI_18.07.2024

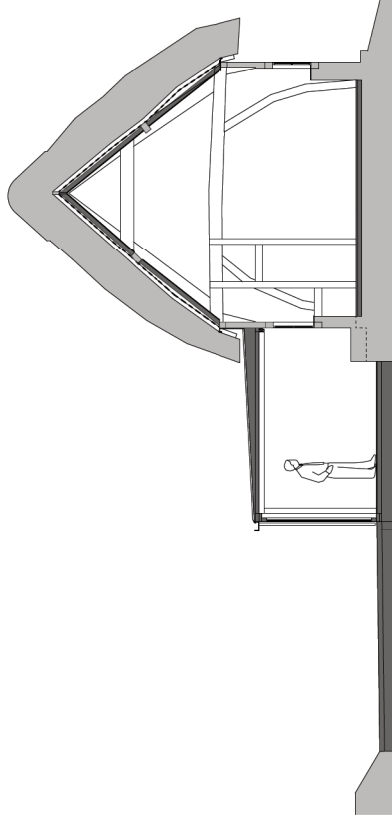




Proposed Section 1-1



Proposed Section 2-2



Proposed Section 3-3

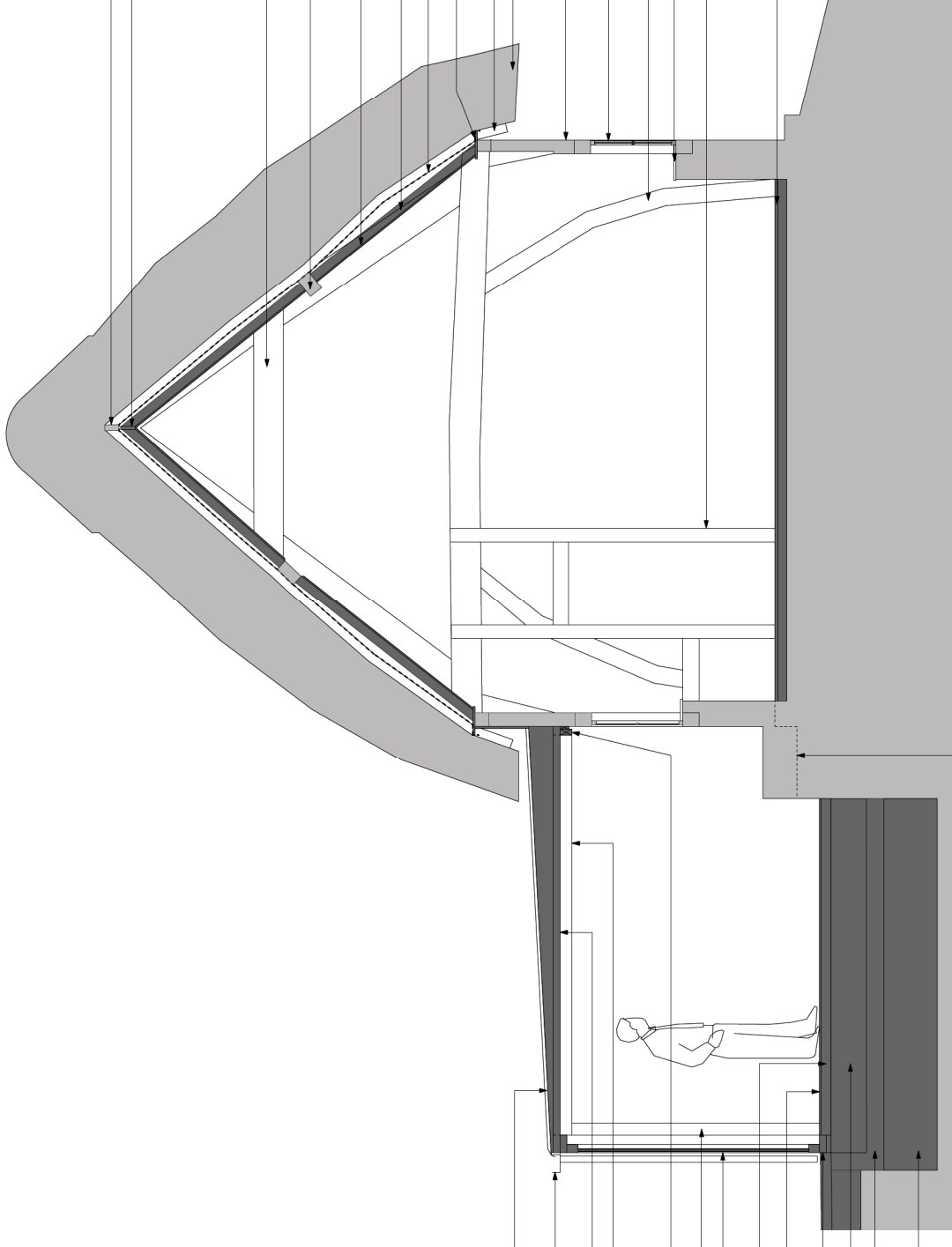
**KEY**

1. Existing hatch roof retained and made good locally as required.
2. Existing roof structure to be retained and made good locally as required.
3. Existing windows carefully removed and replaced with new hardwood windows of a matching pattern and profile but incorporating slimline double glazed units (applies to all existing windows)
4. Timber frame redecorated
5. Timber frame redecorated
6. Existing pipework & rainwater goods redecorated or replaced to match if appropriate
7. Existing plasterwork to be retained and made good locally as required
8. Existing plasterwork to be retained and made good locally as required
9. Standing seam zinc roof
10. Standing seam zinc roof
11. Painted timber door
12. PPC aluminium double glazed window
13. Stone coping
14. Stone coping using local stone
15. Existing downspout to be retained and made good locally as required
16. New dormer window to match existing
17. Existing downspout to be retained and made good locally as required
18. Painted timber gate
19. Close boarded fence
20. Zinc fascia to timber pergola
21. Zinc fascia to timber pergola
22. Dressed stone lintels, reveals, mullions and cills
23. PPC aluminium rainwater goods
24. PPC aluminium rainwater goods
25. PPC aluminium rainwater goods
26. PPC fascia
27. Through coloured render
28. Through coloured render
29. PPC aluminium glazing to dormer windows
30. PPC aluminium glazing to dormer windows
31. PPC aluminium glazing to dormer windows
32. PPC aluminium glazing to dormer windows
33. PPC aluminium glazing to dormer windows
34. PPC aluminium glazing to dormer windows
35. PPC aluminium glazing to dormer windows
36. PPC aluminium glazing to dormer windows
37. PPC aluminium glazing to dormer windows
38. PPC aluminium glazing to dormer windows
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40. PPC aluminium glazing to dormer windows
41. PPC aluminium glazing to dormer windows
42. PPC aluminium glazing to dormer windows
43. PPC aluminium glazing to dormer windows
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97. PPC aluminium glazing to dormer windows
98. PPC aluminium glazing to dormer windows
99. PPC aluminium glazing to dormer windows
100. PPC aluminium glazing to dormer windows

PL 30.10.2012, Lowered Eaves Level to Entrance, RN  
 PL 30.10.2012, Revised Planning Issue, RN  
 PL 16.02.2012, Planning Issue, RN  
 Revision

**PROPOSED DEVELOPMENT, NEW ROAD, WOODMACCOTE**  
 Poplar Farm - Proposed Sections

DATE	NO.	DESCRIPTION	BY	CHKD
2012.1.17	01	Issue for Planning	BN	BN
2012.1.17	02	Issue for Planning	BN	BN
2012.1.17	03	Issue for Planning	BN	BN
2012.1.17	04	Issue for Planning	BN	BN
2012.1.17	05	Issue for Planning	BN	BN
2012.1.17	06	Issue for Planning	BN	BN
2012.1.17	07	Issue for Planning	BN	BN
2012.1.17	08	Issue for Planning	BN	BN
2012.1.17	09	Issue for Planning	BN	BN
2012.1.17	10	Issue for Planning	BN	BN
2012.1.17	11	Issue for Planning	BN	BN
2012.1.17	12	Issue for Planning	BN	BN
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2012.1.17	99	Issue for Planning	BN	BN
2012.1.17	100	Issue for Planning	BN	BN

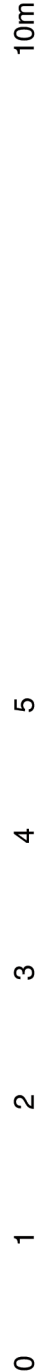


- Standing seam zinc roof laid at min. 3 degrees pitch onto rigid, cut to fall insulation. Zinc to be dressed up the face of the existing beam wall under the above indicated line.
- Rectangular section PPC gutter, 150mm x 75.
- 70mm C17 roof decking fixed between beams.
- 150 x 100 oak beam supporting new flat roof.
- 100 x 50 oak borer with 25mm shallow gap spacer screw fixed into every existing stud to support end of flat roof beams. Led lighting strip recessed into shallow gap.
- 100 x 100 oak post supporting the flat roof.
- PPC slimline aluminium double glazed sliding screen in dark bronze colour satin finish.
- 75mm sand cement screed incorporating underfloor heating.
- 25mm limestone floor tiles.
- Door sill / track section set 50mm into floor to allow level access fixed onto rigid thermal break to prevent cold bridge.
- 300mm concrete slab to SE details.
- 150mm rigid insulation.
- Wall compacted hardcore to SE details.

Dashed lines indicate profile of existing stepped entrance beyond section cut line.

Legend:

- Existing
- Proposed



Existing ridge member

Proposed ridge board to fix new rafter heads

Existing rafters to be retained with matt oiled finish. Minor repairs as required.

Existing purlin to be retained with matt oiled finish.

12mm plasterboard with vapour control backing layer fixed to rafters. Skim and paint finish

75 x 50 independent rafters @ 600 centres fixed to pty wall plate and existing purlin. 75mm rigid Rockwool insulation fixed between rafters

Dashed line indicates Tyvek or similar breathable membrane stapled to existing rafters to provide a waterproof layer

18mm WBP ply sheaf screw fixed to top of existing wall plate. Ply to be notched around existing rafters to close off the eaves and prevent birds from accessing the void.

Existing rafter rafters retained and tied back as required.

Existing flat roof retained and made good as required

Repairs to facade as required to match existing and redconcrete

Existing window modified to accommodate new slimline double glazing unit. 12mm rigid (outer pane) and 4mm rigid (inner pane) with 4mm cavity. 4mm cavity @ 4mm from E. glass with 25mm BWP insulator

Historic timber frame elements exposed and made good.

New 18mm oak window boards

Existing historic timber studs retained

New flooring comprising 25mm limestone tiles held onto min 75mm sand cement screed incorporating underfloor heating

PI\_16\_07\_2022\_Poplar Farm\_BN  
Revised

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE  
Poplar Farm Detailed Cross Section

DATE	BY	REVISION
20/05/21	PI	PLANNING
12/08/21	PI	REVISED
12/08/21	PI	REVISED





New Road Streetscene



Streetscene facing South



Streetscene facing West

PL\_21.10.2023, General revision, JN  
 PD\_26.10.2023, Lowered Eaves Level to Extension, JN  
 PD\_26.10.2023, Revised Planning Issue, BR  
 PL\_16.07.2023, Planning Issue, JN  
 Revision

**PROPOSED DEVELOPMENT, NEW ROAD, WOODMANCOTE**  
**Streetscene Elevations**

DATE	REVISION	BY
2023.10.26	PL	JN
2023.10.26	PD	BR
2023.07.16	PL	JN

BPN Architects (UK) Ltd  
 21st Floor, 100 Broad Street, Birmingham, B1 2LP, UK  
 Tel: +44 (0)121 633 1911  
 www.bpnarchitects.co.uk  
 info@bpnarchitects.co.uk
















**BPN ARCHITECTS**





# Poplar Farm

1. Windmill field
2. The Folly
3. Seed Pieces
4. Peachstile
5. Coltrells Meadows
6. Gamsters
7. Longlands
8. Tomblind Orchard

	Retained tree
	1.2m edible and mixed native hedging (hawthorn/blackthorn/hazel/dogrose/elder/myobalan plum/leer campstree)
	Plum - Prunus cerasifera
	crab apple - malus evereste
	Pyrus calleryana 'Chanticleer'
	Amelanchier Lamarkii
	Fruit Trees - victors plum / samburst cherry / pyrus communis - on cordstock suitable for garden space.
	stepping/cascading border with cotswold stone
	border
	lawn
	Tobomoro hydrogave tegula - cedar
	FSC-certified softwood decking
	Tobomoro 600 x 600 natural textured paver
	area suitable for 2 x 3m garden shed/storage
	post and rail fence area

Poplar Farm  
 GA Landscape  
 Stage: Design Concept  
 Drawing: 031-PF-001-R1

Design Notes/Amendments:  
 2.1/2/21 - buffer trees added to main poplar farm garden  
 - increased landscaping to north boundary  
 - increased landscaping to east boundary for all plots  
 - green roof and car port to poplar farm

Scale:  
 1:200 @ A1  
 Do not scale from this drawing. This drawing is a copy print.

